

**MINUTES OF THE MEETING OF THE JERSEY VILLAGE
PLANNING AND ZONING COMMISSION**

January 16, 2012 – 7:00 p.m.

THE PLANNING AND ZONING COMMISSION OF THE CITY OF JERSEY VILLAGE, TEXAS, CONVENEED ON JANUARY 16, 2012 AT 7:00 P.M. IN THE CIVIC CENTER, 16327 LAKEVIEW, JERSEY VILLAGE, TEXAS

A. The meeting was called to order at 7:10 p.m. and the roll of appointed officers was taken. Commissioners present were:

Chairman, Debra Mergel
Barbara Freeman, Commissioner
George Ohler, Commissioner

Tom Eustace, Commissioner
Justin Ray, Commissioner

Commissioners Rick Faircloth and Michael O’Neal were not present at this meeting.

The following City of Jersey Village City Council members and staff were present for the Joint Public Hearing portion of this agenda:

Mayor, Russell Hamley
Council Member, Joyce Berube
Council Member, Rod Erskine
Council Member, Harry Beckwith III, PE
Council Member, Mark Maloy
Council Member, Jill Klein

City Manager, Mike Castro
City Secretary, Lorri Coody
City Attorney, Bobby Gervais

Staff in attendance: Mark Bitz, Fire Chief; Eric Foerster, Chief of Police; Danny Segundo, Director of Public Works; Isabel Kato, Director of Finance; Michael Brown, Director of Parks and Recreation; Courtney Rutherford, Assistant City Secretary; Deborah Capaccioli-Paul, Engineering Technician; and Christian Somers-Kuenzel, Building Official.

B. Conduct Joint Public Hearing with City Council concerning the proposal to amend the city’s zoning ordinance to grant a specific use permit to allow for the installation and use of a 100’ stealth cell tower (telecommunication tower) on Lot 3, Block No. 2 located in the Northwest Station Section of zoning District G within the City of Jersey Village.

Mayor Hamley called the item and Chairman Debra Mergel announced a quorum for the Planning and Zoning Commission. Mayor Hamley opened the Joint Public Hearing at 7:10 p.m.

Background information on this item is as follows:

The Planning and Zoning Commission met on December 5, 2011 and recommended in its preliminary report that a specific use permit be granted to allow for the installation and use of a 100’ stealth cell tower (telecommunication tower) on Lot 3, Block No. 2 located in the Northwest Station Section of zoning District G within the City of Jersey Village.

The preliminary report was submitted to the Council at its December 19, 2011 meeting, and Joint Public Hearings have been ordered for January 16, 2012.

Joint public hearings must be conducted by the City Council and the Planning and Zoning Commission in accordance with the requirements of the Code of Ordinances of the City of Jersey Village - Section 14-84.

The purpose of the hearing is to provide an opportunity for the public to give oral or written comments proposed amendments to the City's comprehensive zoning ordinance concerning the proposal to grant a specific use permit to allow for the installation and use of a 100' stealth cell tower (telecommunication tower) on Lot 3, Block No. 2 located in the Northwest Station Section of zoning District G within the City of Jersey Village.

Dave Petrakovitz, for Applicant T-Mobile West, Inc., 2 Greenway Plaza #1100, Houston, Texas 77046 (281) -701-0604 – Mr. Petrakovitz told Council that he is the agent for T-Mobile West and is present to answer any questions about the application for a specific use permit to place the 100' stealth cell tower (telecommunication tower) on Lot 3, Block No. 2 within the City limits of Jersey Village.

There was brief discussion about any additional tax revenue the tower will bring to the City. The City Manager explained that this amount of revenue would be negligible.

With no one else signing up to speak, Mayor Hamley and Chairman Mergel closed the joint public hearing at 7:12 p.m., and the Planning and Zoning Commission retired from the City Council meeting at 7:12 p.m. to conduct its posted meeting agenda and prepare the final report in connection with this joint public hearing.

Chairman Mergel reconvened the Planning and Zoning Commission at 7:15 p.m.

C. Consider approval of the minutes for the meetings held on December 5, 2011.

Commissioner Freeman moved to approve the minutes for the meeting held on December 5, 2011. Commissioner Ohler seconded the motion. The vote follows:

Ayes: Commissioners Eustace, Freeman, Ray, and Ohler
Chairman Mergel

Nays: None

The motion carried.

D. Discuss and take appropriate action regarding preparation and presentation of the Final Report to Council on the proposal to amend the City's comprehensive zoning to grant a specific use permit to allow for the installation and use of a 100' stealth cell tower (telecommunication tower) on Lot 3, Block No. 2 located in the Northwest Station Section of zoning District G within the City of Jersey Village.

Chairman Mergel called the item.

There was brief discussion among the Commission regarding the use of the pole for a flag and increased revenue to the City through property taxes. Dave Petrakovitz, representative for T-Mobile, stated that the pole will not be used as a flag pole due to the noise and being located near the Manor, a senior housing establishment. He also told the Commission that the tax value for this property would only increase by about \$250,000.00, which would be minimal revenue to the City.

Commissioner Freeman did question how the pole would hold up in the event of a hurricane and strong winds. Mr. Petrakovitz stated that the pole is constructed to withstand 300 mph winds.

With no further discussion, Commissioner Ray moved to accept the final report as written and allow Chairman Mergel to present the final report to City Council. Commissioner Eustace seconded the motion. The vote follows:

Ayes: Commissioners Eustace, Freeman, Ray, and Ohler
Chairman Mergel

Nays: None

E. Adjourn

After Chairman Mergel presented the final report (a copy of which is made apart of these minutes as Exhibit “A”) to City Council, the Planning and Zoning Commission adjourned.

The meeting adjourned at 7:23 p.m.

Courtney Rutherford, Assistant City Secretary



**CITY OF JERSEY VILLAGE – PLANNING & ZONING COMMISSION
FINAL REPORT
TELECOMMUNICATION TOWER - SPECIFIC USE PERMIT
ZONING DISTRICT G**

The Planning and Zoning Commission has previously met on December 5, 2011 and in its preliminary report recommended amendments to the City's zoning ordinance to grant a specific use permit to allow for the installation and use of a 100' stealth cell tower (telecommunication tower) on Lot 3, Block No. 2 located in the Northwest Station Section of zoning District G within the City of Jersey Village.

The preliminary report was submitted to the Jersey Village City Council at its December 19, 2011 meeting. The report was reviewed and the City Council ordered a Joint Public Hearing for January 16, 2012.

On January 16, 2012, the City Council and the Jersey Village Planning and Zoning Commission conducted a joint public meeting, which gave the public an opportunity to make comments concerning the proposed amendment.

The Planning and Zoning Commission after duly considering all the information before it including that gathered at the Joint Public Hearing with City Council on January 16, 2012 at 7:00 p.m., the Planning and Zoning Commission recommends that:

The City's comprehensive zoning ordinance be amended to grant a specific use permit to allow for the installation and use of a 100' stealth cell tower (telecommunication tower) on Lot 3, Block No. 2 located in the Northwest Station Section of zoning District G within the City of Jersey Village.

The amendments to the City's zoning ordinance are more specifically detailed in the attached proposed ordinance marked as Exhibit "A."

Respectfully submitted, this 16th day of January 2012.

ATTEST:


Courtney Rutherford, Assistant City Secretary


Debra Mergel, Chairman



ORDINANCE NO. 2012-XX

AN ORDINANCE OF THE CITY OF JERSEY VILLAGE, TEXAS, AMENDING CHAPTER 14, ARTICLE IV, OF THE CODE OF ORDINANCES, CITY OF JERSEY VILLAGE, SAID ORDINANCE BEING CITY OF JERSEY VILLAGE ORDINANCE NO. 77-14, AS AMENDED, ORIGINALLY ADOPTED THE 6TH DAY OF SEPTEMBER 1977, AND BEING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY, BY GRANTING TO T-MOBILE WEST, INC., A SPECIFIC USE PERMIT TO ALLOW FOR THE INSTALLATION AND USE OF A TELECOMMUNICATION TOWER ON PROPERTY DESCRIBED AS LOT 3, BLOCK 2, NORTHWEST STATION SECTION OF DISTRICT G; PROVIDING REQUIREMENTS AND CONDITIONS FOR THIS SPECIFIC USE PERMIT; CONTAINING FINDINGS AND OTHER PROVISIONS RELATING TO THE SUBJECT; PROVIDING A PENALTY IN AN AMOUNT NOT TO EXCEED TWO THOUSAND DOLLARS FOR VIOLATIONS HEREOF; PROVIDING FOR AMENDMENT OF THE OFFICIAL ZONING MAP; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, T-Mobile, Inc. has made an application for a Specific Use Permit for a tract of land described as Lot 2, Block 3 in the Northwest Station Section of District G, ("the Property") situated within the corporate limits of the City of Jersey Village, Texas ("the City"), said tract being more particularly described in the applicant's application which is attached hereto as Exhibit "A" and made a part hereof for all purposes; and

WHEREAS, the Property presently has a zoning classification of District G pursuant to the comprehensive zoning ordinance of the City; and

WHEREAS, T-Mobile West, Inc. has made application to the City for a Specific Use Permit to use said Property for the purpose of installing and using a telecommunication tower ("the Specific Use"), as authorized by the City's comprehensive zoning ordinance; and

WHEREAS, the Planning and Zoning Commission and the City Council of the City have, in the time and manner and after the notice required by law, conducted a public hearing on such request for a Specific Use Permit described above; and

WHEREAS, the City Council has received the final written recommendation of the Planning and Zoning Commission; and

WHEREAS, the City Council finds the application complies with section 14-84.1 of the City Code and deems it appropriate to approve such request; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JERSEY VILLAGE, TEXAS:

Section 1. The facts and matters set forth in the preamble of this Ordinance are hereby found to be true and correct.

Section 2. A Specific Use Permit allowing the use of a telecommunication tower on the Property subject to the terms and conditions set forth below, is hereby granted to T-Mobile West, Inc. The Specific Use Permit shall run with the land and include any successor in interest.

Section 3. The Official Zoning District Map of the City, as referenced by section 14-82 of The City Code, shall be revised and amended to show the Specific Use authorized hereby for the Property as provided in Section 2 hereof, with the appropriate references thereon to the number and effective date of this Ordinance and a brief description of the nature of the Specific Use authorized.

Section 4. The Specific Use Permit granted hereby shall be null and void after the expiration of two (2) years from the date of adoption of this Ordinance unless the Property is being used in accordance with the Specific Use Permit herein granted or unless an extension of time is approved by City Council.

Section 5. The Specific Use authorized and permitted hereby shall be, and is, subject to the following additional limitations, restrictions, and conditions:

1. The maximum tower height of the tower shall not exceed 100 feet.
2. The tower shall be a self-supporting stealth monopole structure.
3. Tower will be erected and operated in compliance with current FCC and FAA rules and regulations and other applicable federal, state and local standards.
4. The tower must be identified by a sign visible from outside the screening stating in letters at least two inches high the name and telephone number of the tower manager and the Federal Communications Commission license number.
5. The site plan, architectural drawings and landscaping plan for the structure shall be in accordance with the City of Jersey Village Code of Ordinances at Chapter 14, Article XII.
6. All paved areas, permanent drives, streets, and drainage structures, if any, on the Property must be constructed in accordance with City of Jersey Village specifications.
7. City shall be informed of any intent to abandon or cease using the antenna or tower within thirty (30) days of the date the use ceases.
8. Upon discontinued use of the tower, the owner will remove the tower and equipment within six (6) months of such discontinued use. In the event the tower and equipment are not removed as agreed, City shall have the right to remove the tower and equipment and recover the costs associated with such removal from the landowner and place a lien on the property until such costs are paid.
9. A report must be submitted that has been prepared by a registered professional engineer stating all structural components of the tower comply with all applicable codes and regulations and is designed or built to accommodate collocation. A sealed report from a registered electrical engineer certifying that electromagnetic spectrum emissions are in compliance with applicable federal standards must be submitted.
10. No permanent illumination allowed, only that required for maintenance will be permitted.

Section 6. Any person who shall willfully, intentionally, or with criminal negligence violate any provision of this Ordinance shall be deemed guilty of a misdemeanor and, upon conviction, shall be fined in an amount not to exceed \$2,000. Each day of violation shall constitute a separate offense.

Section 7. In the event any clause, phrase, provision, sentence, or part of this Ordinance or the application of the same to any person or circumstance shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Jersey Village, Texas, declares that it would have passed each and every part of the same notwithstanding the omission of any such part thus declared to be invalid or unconstitutional, whether there be one or more parts.

Section 8. This ordinance shall be in full force and effect from and after its passage.

PASSED, APPROVED, AND ADOPTED this _____ day of _____, 2012.

Russell Hamley, Mayor

ATTEST:

Lorri Coody, City Secretary

CITY OF JERSEY VILLAGE
ZONING APPLICATION

Requested Action

ZONING CHANGE ()

SPECIAL EXCEPTION (X)

NON CONFORMING USE PERMIT ()

APPLICANT / OWNER INFORMATION

Applicant: T-Mobile West, INC

Telephone: (281) 701-0604

Address: 2 Greenway Plaza # 1100

City/State/Zip: HOUSTON TX 77044

APPLICANT'S STATUS: Check One OWNER () TENANT (X) PROSPECTIVE BUYER ()

Property Owner must sign that application or submit a notarized letter of authorization.

Owner: Sus I Management Co, LLC

Telephone: (281) 894-9484 (o)

Address: 7911 CAPRI CIRCLE

City/State/Zip: HOUSTON, TX 77095

Representative: DANNY ERDELMAN

Telephone: (713) - 824-1662 (cell)

Address: 7911 CAPRI CIRCLE

City/State/Zip: HOUSTON, TX 77095

OWNERSHIP: Check One INDIVIDUAL () TRUST () PARTNERSHIP () CORPORATION ()

If ownership is a trust, partnership, or corporation, name the partners or principals and their addresses and positions on a separate attachment.

DAVID PETRAKOVITZ, AGENT
Print Name (and Title if Applicable)

DANNY ERDELMAN
Print Name (and Title if Applicable)

David Petrakovitz
Signature of Applicant

Danny Erdelman
Signature of Owner

ZONING REQUEST INFORMATION

SITE LOCATION: NORTHWEST STATION SECTION

LOT(S) NO(S): 3 BLOCK NO: 2 SIZE OF REQUEST: _____

EXISTING ZONING: _____ G

PROPOSED ZONING: _____ G - SUP

DESCRIPTION OF REQUEST: To allow for the use of a 100' stealth cell tower (subject to Special Exception Approvals by City of Jersey Village)

(Please attach detailed map(s) showing proposed changes)

DOCUMENTATION
(Please provide the following)

- TRAFFIC IMPACT STUDY (if applicable)
- SITE MAP
- PROPER SIGNATURES
- CORRECT LOT & BLOCK

- INDEX LOCATION MAP
- PROPER FILING FEE
- SURVEY MAPS (Metes & Bounds)

FILING FEE - \$650.00

ACCEPTED BY: _____

DATE ACCEPTED: _____

Form Reference #



October 31, 2011

Lorrie Coody
City Secretary
City of Jersey Village
16501 Jersey Drive
Jersey Village, TX 77040

Ms. Coody,

Thank you for your assistance and help to date on the T-Mobile proposed cell tower application.

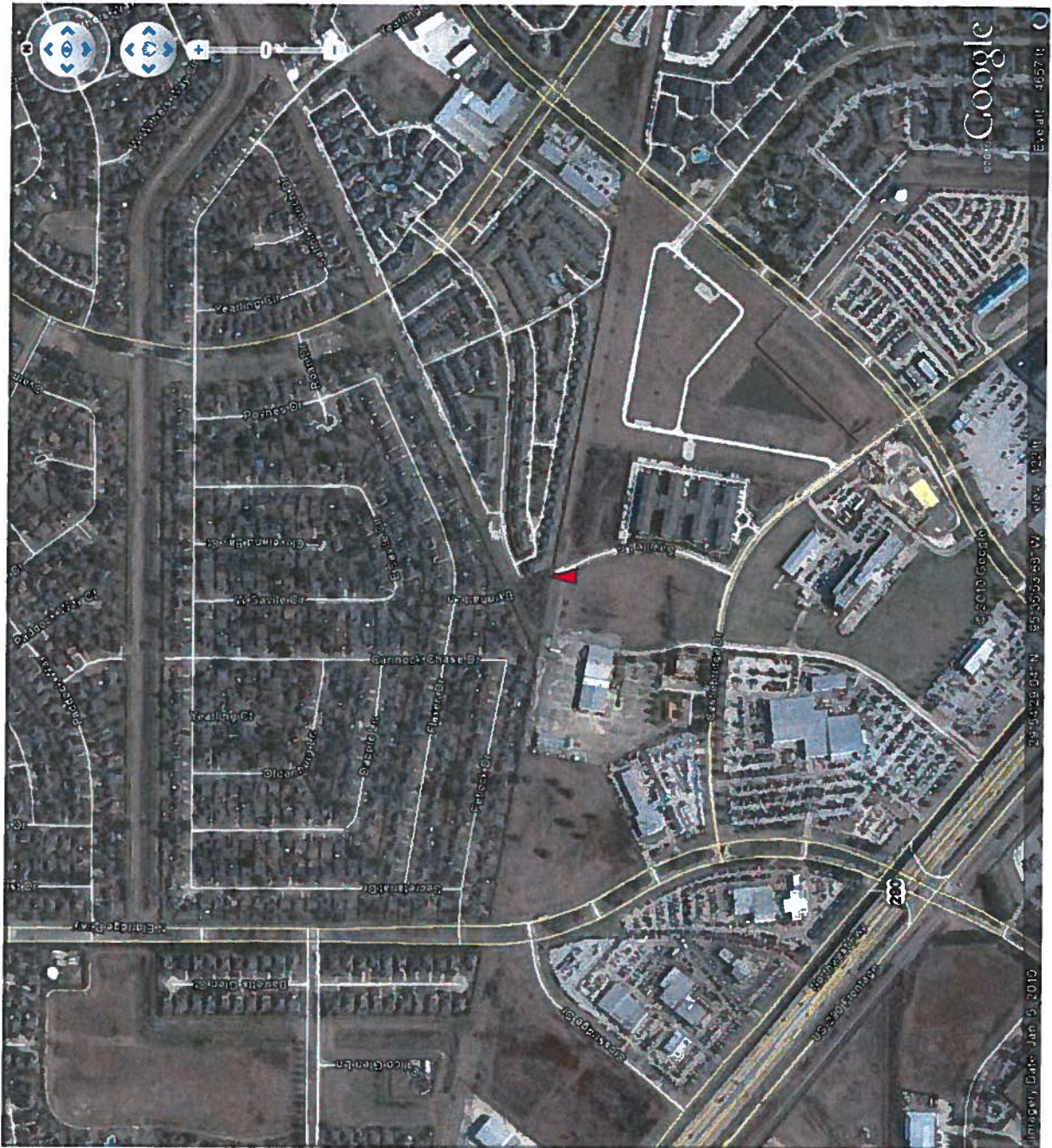
Attached you will find an Application for a Special Exception to allow T-Mobile West, Inc, to erect a 100' stealth cell tower in G Districts under such provisions which allow a cell tower subject to Special Exception approval by City Council.

Again, thank you for all your help to date.

A handwritten signature in black ink, appearing to read "Dave Petrakovitz". The signature is fluid and cursive, with a long, sweeping underline that extends to the right.

Dave Petrakovitz
agent for T-Mobile West Corporation
2 Greenway Plaza
Suite 1100
Houston, Texas 77090

Seville Lane (Castlebridge Dr)



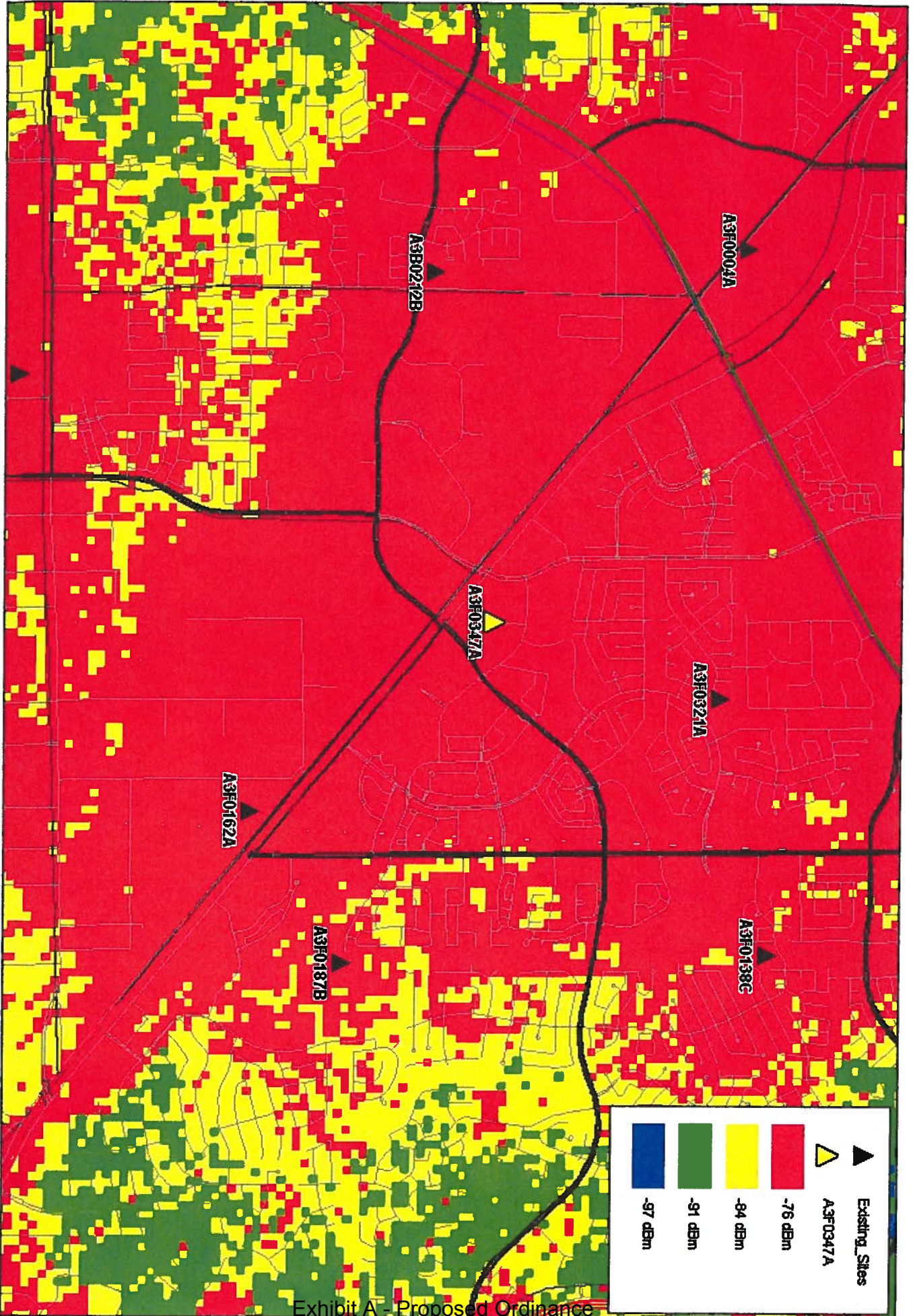


Exhibit A - Proposed Ordinance

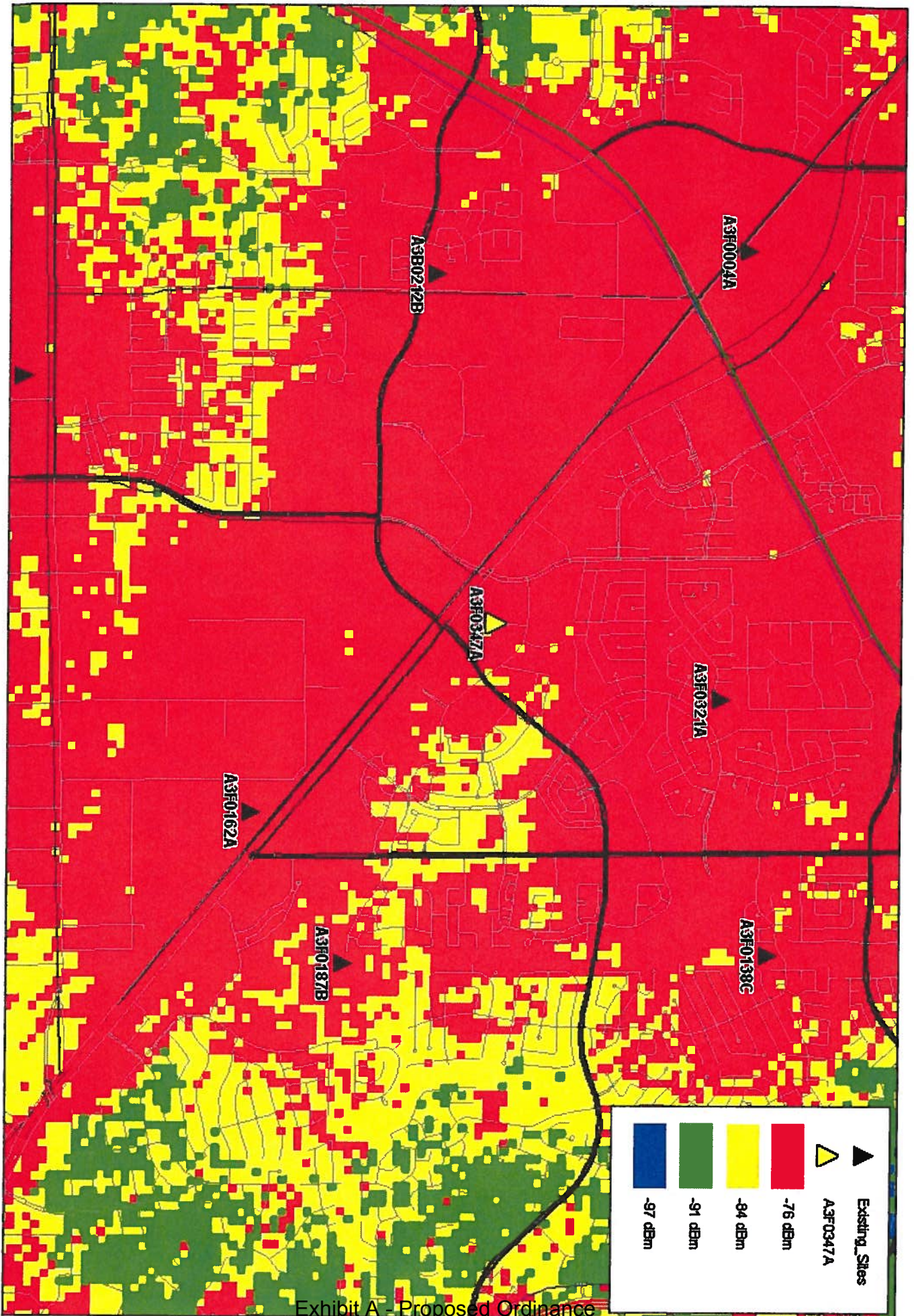


Exhibit A - Proposed Ordinance



Exhibit A - Proposed Ordinance

**100' Flagpole Antenna Site
at Houston
Baptist University**

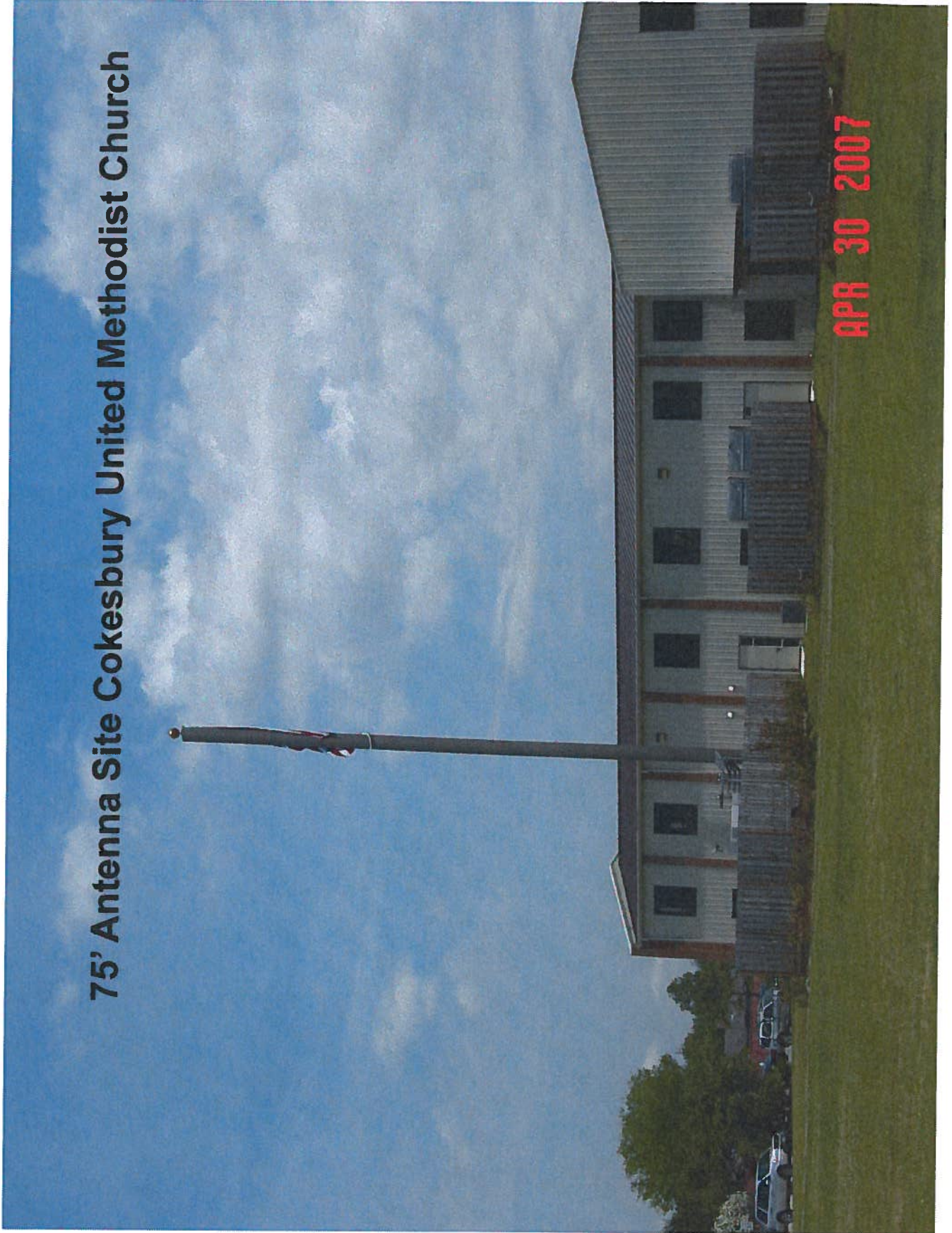


Exhibit A - Proposed Ordinance

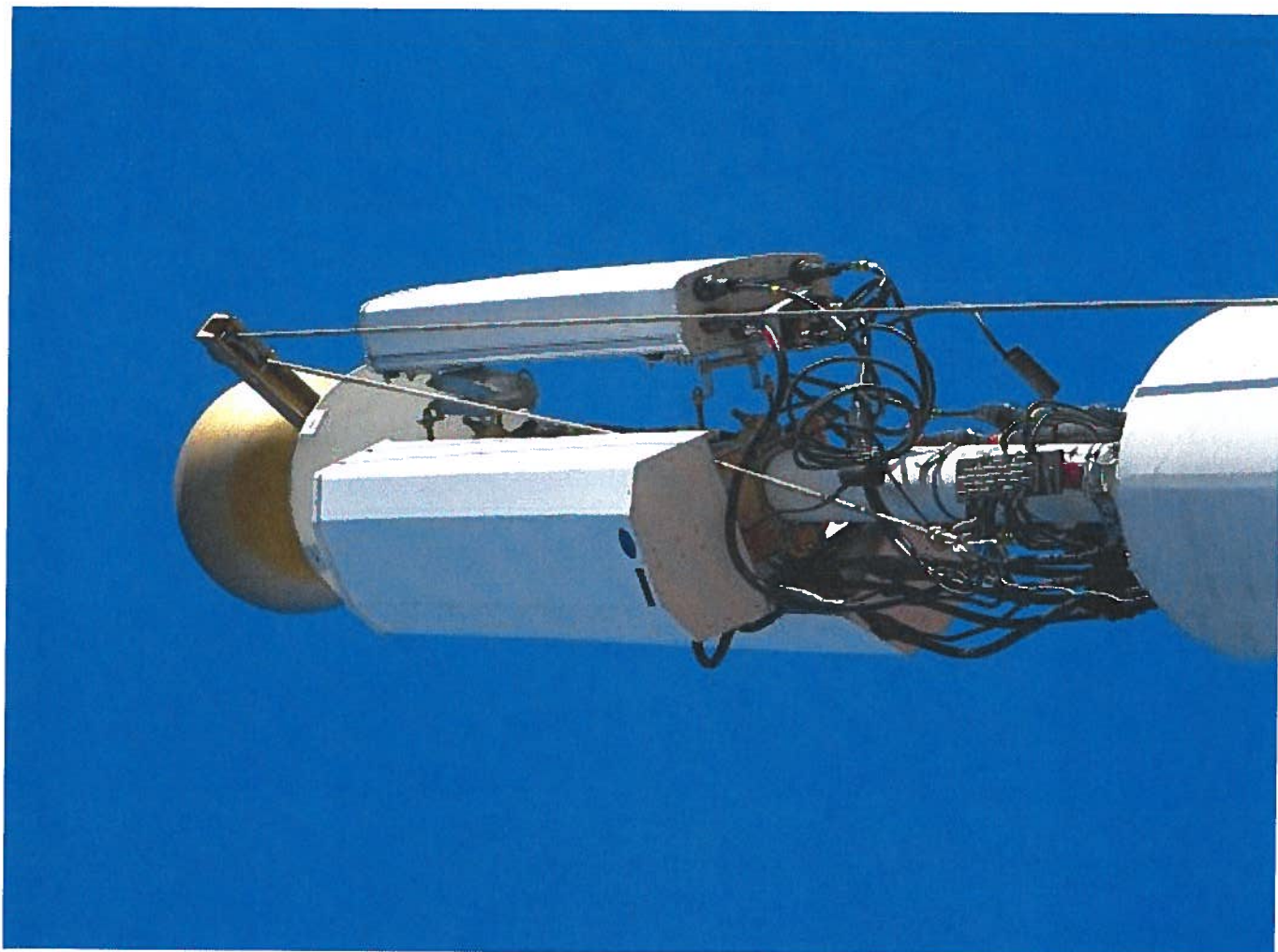
**75' Flagpole Antenna Site
Beltway 8 North
Little League field**



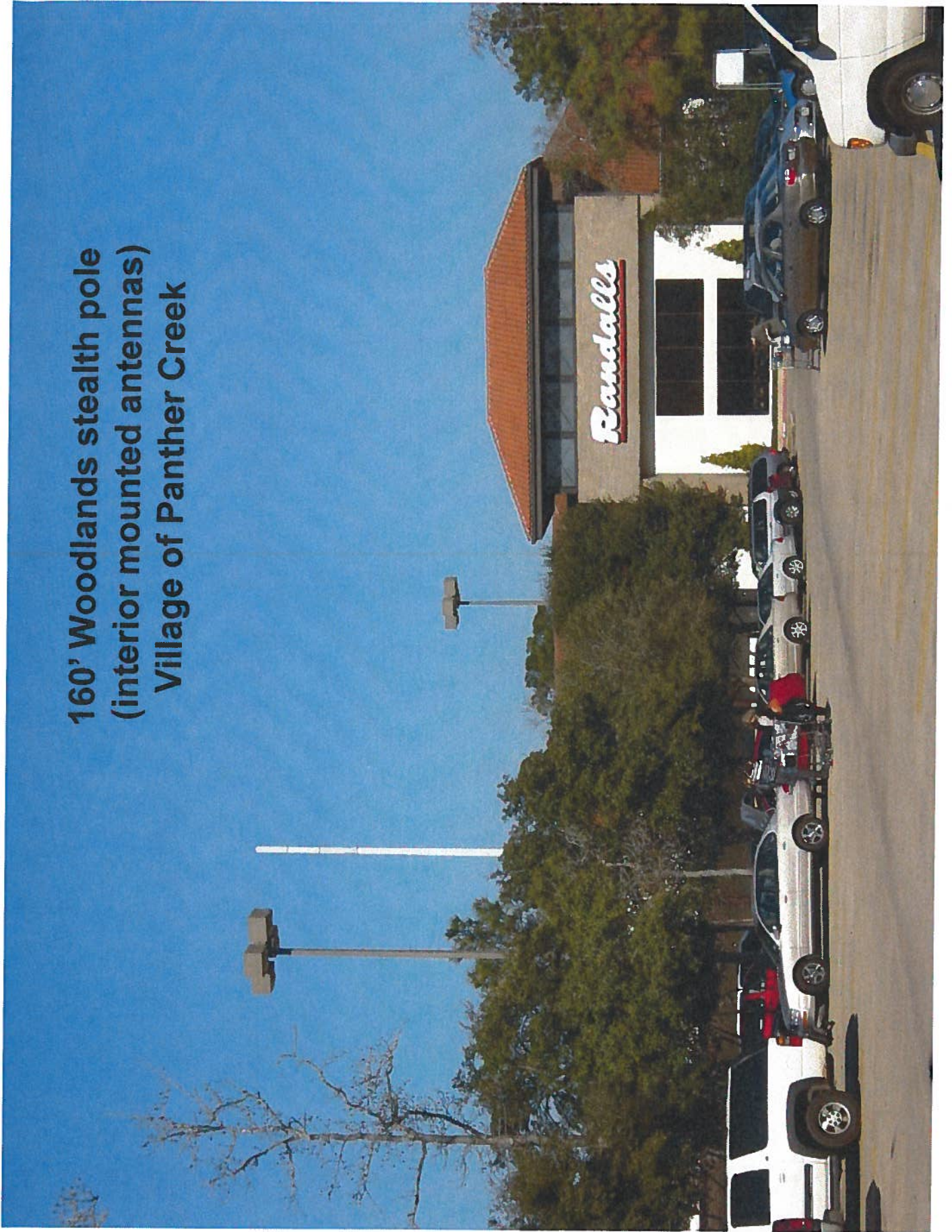
75' Antenna Site Cokesbury United Methodist Church



**Interior view of
Cellular Antennas
Inside a Flagpole Stealth site**

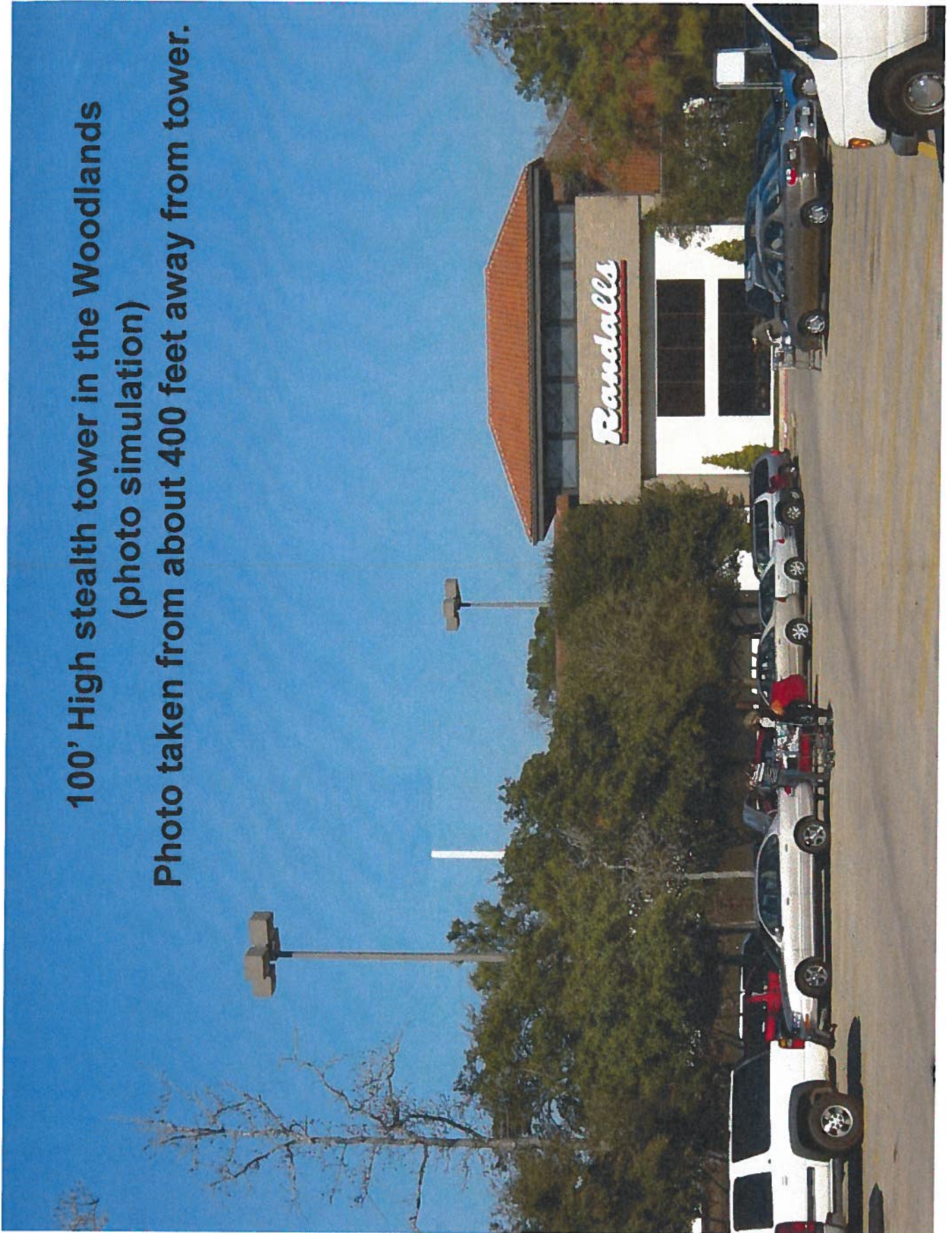


**160' Woodlands stealth pole
(interior mounted antennas)
Village of Panther Creek**



**100' High stealth tower in the Woodlands
(photo simulation)**

Photo taken from about 400 feet away from tower.





T-Mobile West Corp.
2 Greenway Plaza, Suite 1100
Houston, Texas 77046



SSC
420 W. 112th Street, Suite 300
Overland Park, Kansas 66210
Phone: 913-438-7700 Fax: 913-438-7777

DESIGNER:	W.T. GARRETT
LEAD DR.	A.J. KESSELO
LEAD USER:	ALL OWNERS

NO.	DATE	DESCRIPTION	BY
1	08/11/10	ISSUED FOR PERMIT	W.T. GARRETT
2	08/11/10	ISSUED FOR PERMIT	W.T. GARRETT

THIS PLAN IS THE PROPERTY OF SW 1 MANAGEMENT, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SW 1 MANAGEMENT, LLC.

CONTRACTOR'S RESPONSIBILITY:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND ADJACENT PROPERTY OWNERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

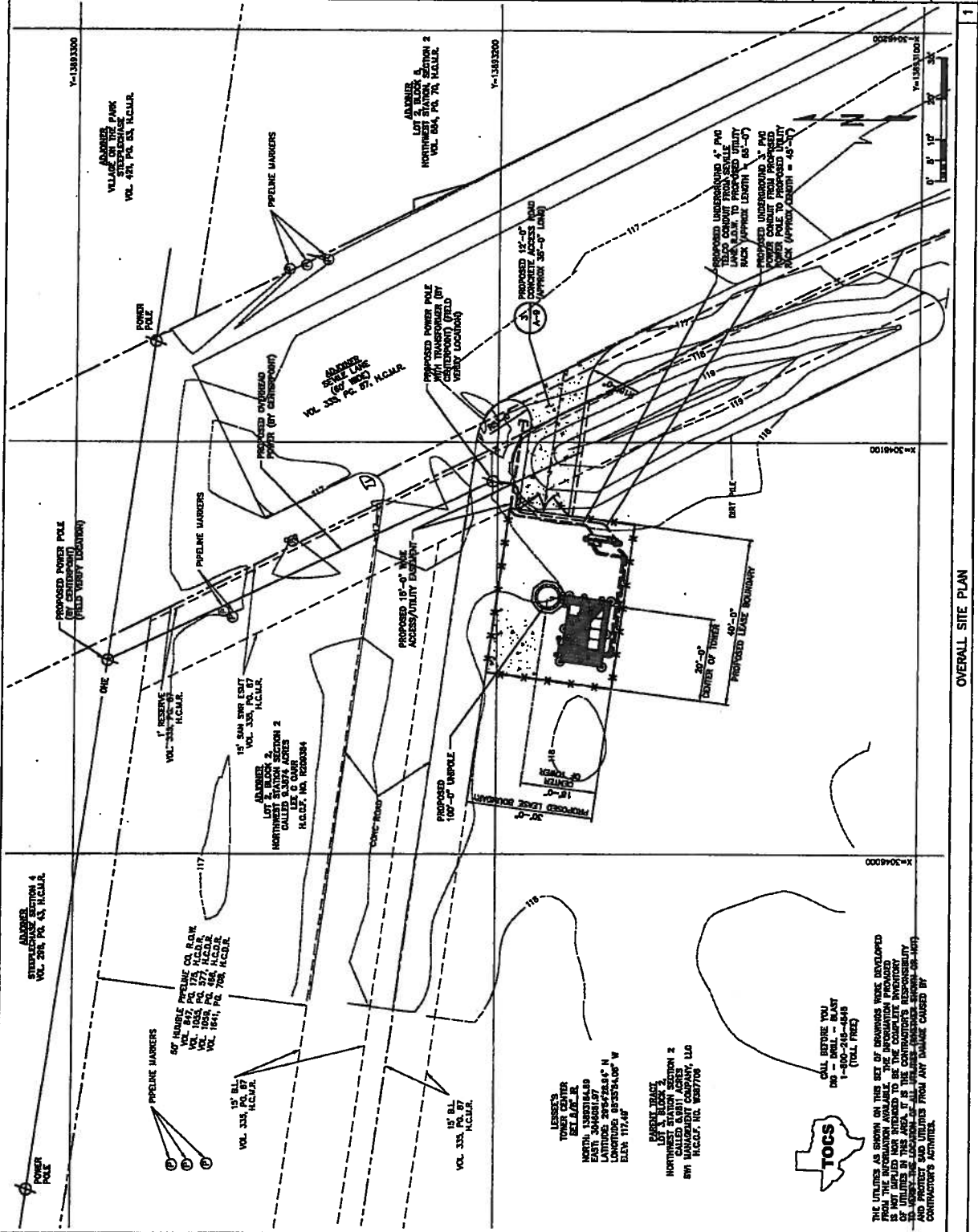
SW 1 MANAGEMENT
SITE NAME

SW 1 MANAGEMENT
SITE NUMBER
A370347A

0 CASTLEBERRY DRIVE
HOUSTON, TEXAS
77065

OVERALL SITE PLAN
SHEET TITLE

A-1
SHEET NUMBER

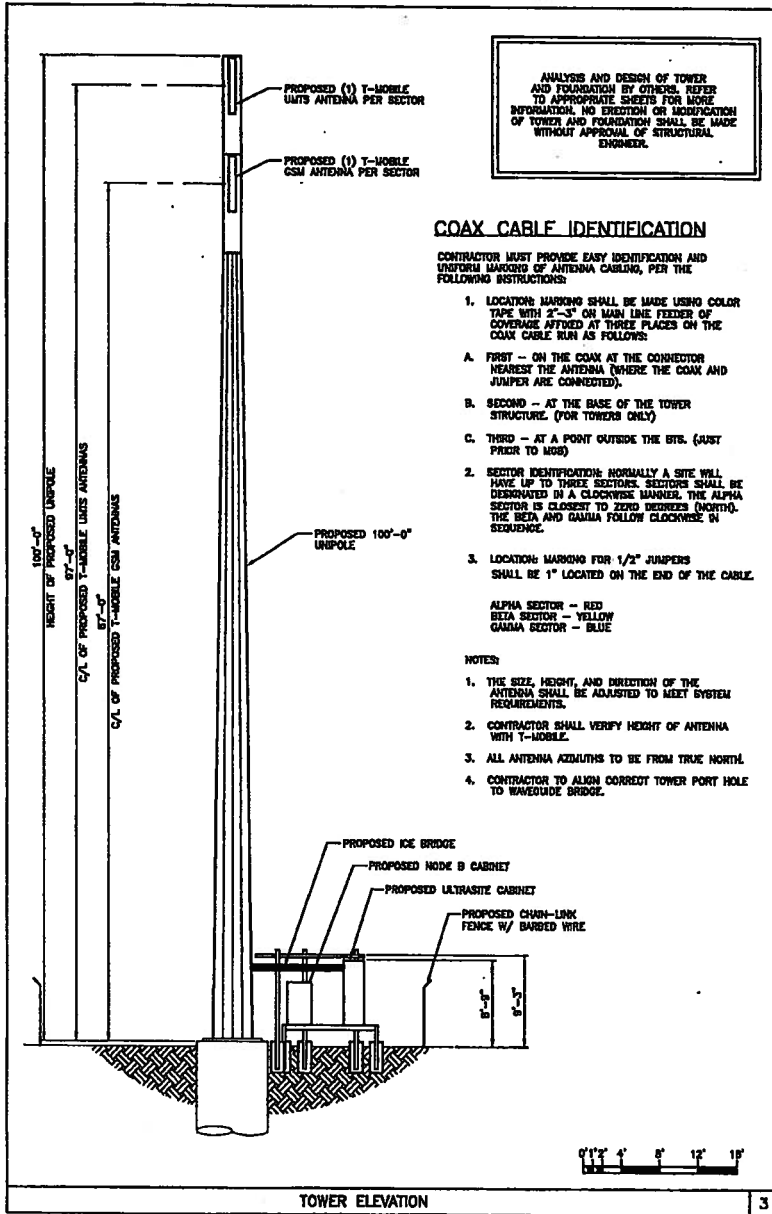


CALL BEFORE YOU DIG
800-485-4848
1-800-245-4848
(TOLL FREE)



THE UTILITIES AS SHOWN ON THIS SET OF DRAWINGS WERE DEVELOPED BY THE UTILITY OWNERS AND SW 1 MANAGEMENT, LLC. SW 1 MANAGEMENT, LLC IS NOT BEING HELD RESPONSIBLE FOR THE ACCURACY OF THE UTILITIES SHOWN ON THIS SET OF DRAWINGS. SW 1 MANAGEMENT, LLC AND ITS AGENTS SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE CAUSED BY CONTRACTOR'S ACTIVITIES.

Exhibit A - Proposed Ordinance



ANALYSIS AND DESIGN OF TOWER AND FOUNDATION BY OTHERS. REFER TO APPROPRIATE SHEETS FOR MORE INFORMATION. NO ERECTION OR MODIFICATION OF TOWER AND FOUNDATION SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

COAX CABLE IDENTIFICATION

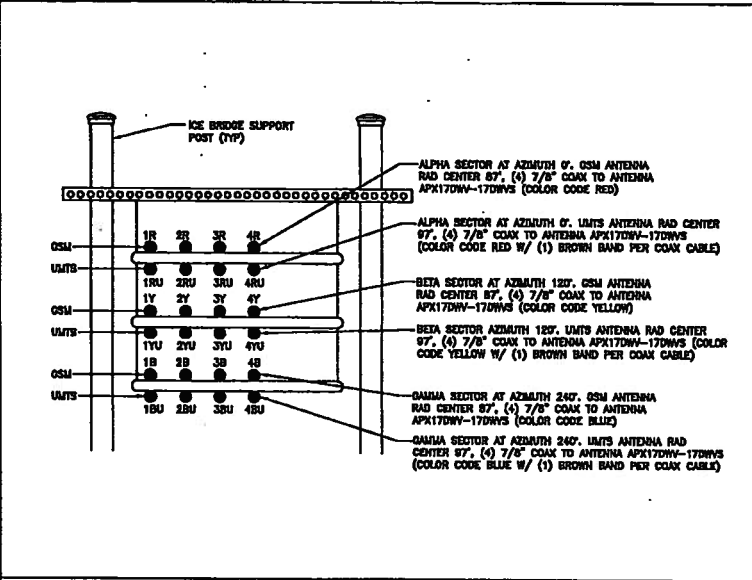
CONTRACTOR MUST PROVIDE EASY IDENTIFICATION AND UNIFORM MARKING OF ANTENNA CABLING, PER THE FOLLOWING INSTRUCTIONS:

1. LOCATION MARKING SHALL BE MADE USING COLOR TAPE WITH 2"-3" ON MAIN LINE FEEDER OF COVERAGE ATTACHED AT THREE PLACES ON THE COAX CABLE RUN AS FOLLOWS:
 - A. FIRST - ON THE COAX AT THE CONNECTOR NEAREST THE ANTENNA (WHERE THE COAX AND JUMPER ARE CONNECTED).
 - B. SECOND - AT THE BASE OF THE TOWER STRUCTURE (FOR TOWERS ONLY).
 - C. THIRD - AT A POINT OUTSIDE THE SITE. (JUST PRIOR TO MGS).
2. SECTOR IDENTIFICATION: NORMALLY A SITE WILL HAVE UP TO THREE SECTORS. SECTORS SHALL BE DESIGNATED IN A CLOCKWISE MANNER. THE ALPHA SECTOR IS CLOSEST TO ZERO DEGREES (NORTH). THE BETA AND GAMMA FOLLOW CLOCKWISE IN SEQUENCE.
3. LOCATION MARKING FOR 1/2" JUMPERS SHALL BE 1" LOCATED ON THE END OF THE CABLE.

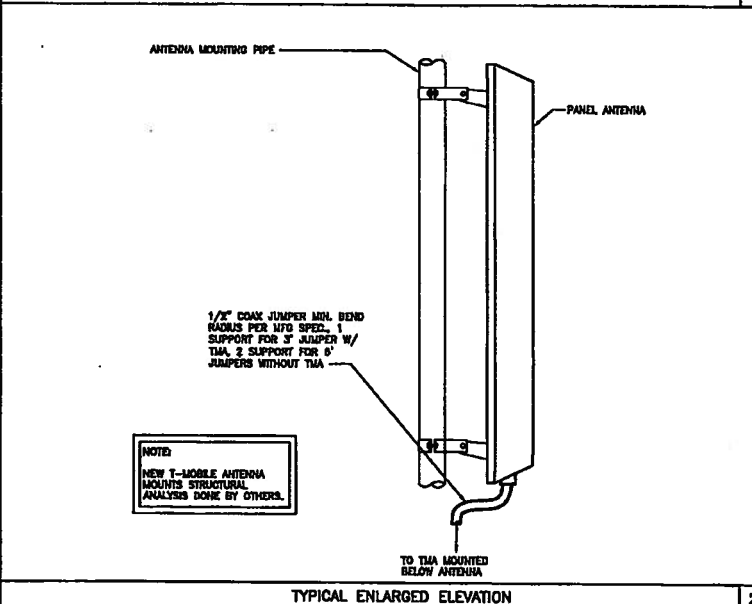
ALPHA SECTOR - RED
 BETA SECTOR - YELLOW
 GAMMA SECTOR - BLUE

NOTES:

1. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNA SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS.
2. CONTRACTOR SHALL VERIFY HEIGHT OF ANTENNA WITH T-MOBILE.
3. ALL ANTENNA AZIMUTHS TO BE FROM TRUE NORTH.
4. CONTRACTOR TO ALIGN CORRECT TOWER PORT HOLE TO WAVEGUIDE BRIDGE.



COAX COLOR DETAIL



T-Mobile West Corp.
 2 Greenway Plaza, Suite 1100
 Houston, Texas 77048



6500 W. 110th Street, Suite 300
 Overland Park, Kansas 66210
 Phone: 913-438-7700 Fax: 913-438-7717

DESIGNER: M.T. GARRETT
 LEAD EE: S.J. KESSELING
 LEAD CSER: M.L. OWENS

SUBMITTALS		
NO.	DATE	DESCRIPTION
1	01/20/06	COAX FOR REVIEW
2	02/07/06	COAX FOR REVIEW

NOTE: THIS CONTRACT HAS NOT BEEN REPRODUCED TO THE SCALE PROPERTY OF SSC, INC. AND IS SUBJECT TO THE AGREEMENT FOR THESE CONTRACTS. USE ONLY AS BE COMPLETION OF THE LEAD OF THIS DRAWING. THE DRAWING PREPARED AND APPROVED BY OTHERS AND AGREES THAT IT WILL NOT BE REPRODUCED, COPIED, LENT OR OTHERWISE DISPOSED OF WITHOUT THE WRITTEN PERMISSION FOR ANY PURPOSE OTHER THAN FOR THE PROJECTS INTENDED.

DATE OF ISSUE: _____
 CHECKED BY: _____
 RESPONSIBLE ENGINEER: _____
 SLD: _____ TSS: _____
 SW: _____

SITE NAME: _____

SW 1 MANAGEMENT

SITE NUMBER: _____

A3F0347A

SITE ADDRESS: _____

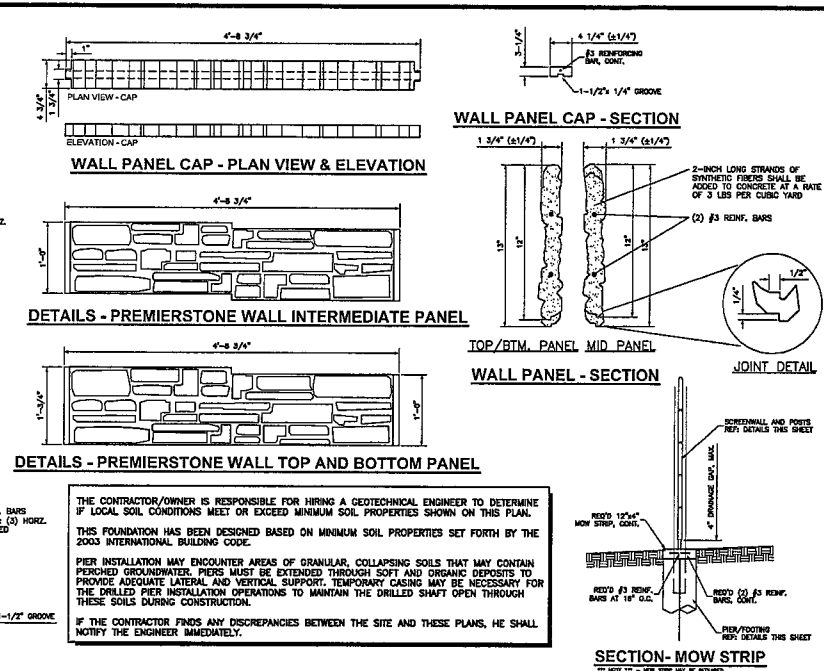
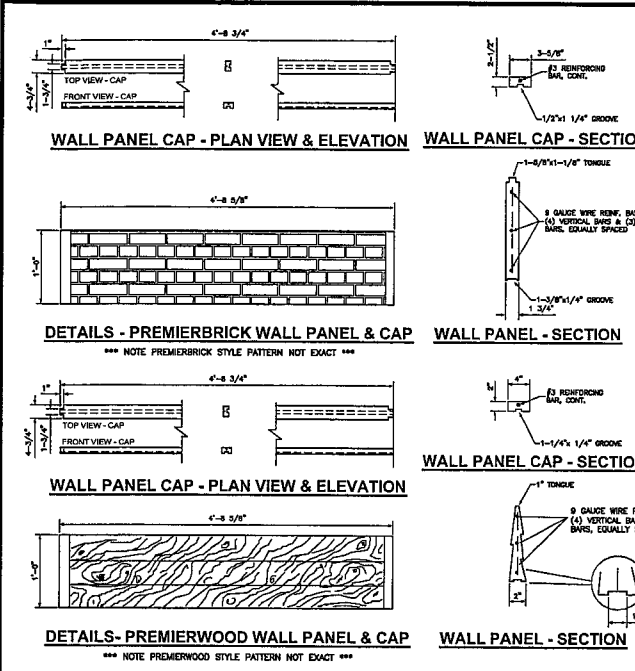
0 CASTLEBERRY DRIVE
 HOUSTON, TEXAS
 77063

SHEET TITLE: _____

TOWER ELEVATION

SHEET NUMBER: _____

A-3



THE CONTRACTOR/OWNER IS RESPONSIBLE FOR HIRING A GEOTECHNICAL ENGINEER TO DETERMINE IF LOCAL SOIL CONDITIONS MEET OR EXCEED MINIMUM SOIL PROPERTIES SHOWN ON THIS PLAN. THIS FOUNDATION HAS BEEN DESIGNED BASED ON MINIMUM SOIL PROPERTIES SET FORTH BY THE 2003 INTERNATIONAL BUILDING CODE.

PIER INSTALLATION MAY ENCOUNTER AREAS OF GRANULAR, COLLAPSING SOILS THAT MAY CONTAIN PERCHED GROUNDWATER. PIERS MUST BE EXTENDED THROUGH SOFT AND ORGANIC DEPOSITS TO PROVIDE ADEQUATE LATERAL AND VERTICAL SUPPORT. TEMPORARY CASING MAY BE NECESSARY FOR THE DRILLED PIER INSTALLATION OPERATIONS TO MAINTAIN THE DRILLED SHAFT OPEN THROUGH THESE SOILS DURING CONSTRUCTION.

IF THE CONTRACTOR FINDS ANY DISCREPANCIES BETWEEN THE SITE AND THESE PLANS, HE SHALL NOTIFY THE ENGINEER IMMEDIATELY.

Specifications and Notes

General:

- This project has been designed in accordance with the International Building Code, 2003 Edition.

2. Applied loads:

- Wind Velocity (V) = 80 mph
- Exposure: C
- Importance Factor (I) = 1.0
- Velocity Pressure Design Coefficient (C_d) = 0.85
- Wind Directionality Factor (K_d) = 0.85
- Topographic Factor (K_z) = 1.0
- Wind Pressure P = 0.00256(K_z)(K_d)(K_e)V²(I)
- P = 0.00256(0.85)(1.0)(0.85)(80)²(1.0) = 18.0 psf

3. Product to be manufactured by PremierCrete Products, LLC, NPCA Certified Plant
Address: 9534 Industrial Rd. Justin, Texas 75247
Phone: (940)-648-5802

4. Screening wall to be constructed entirely on the project property.

5. Color:

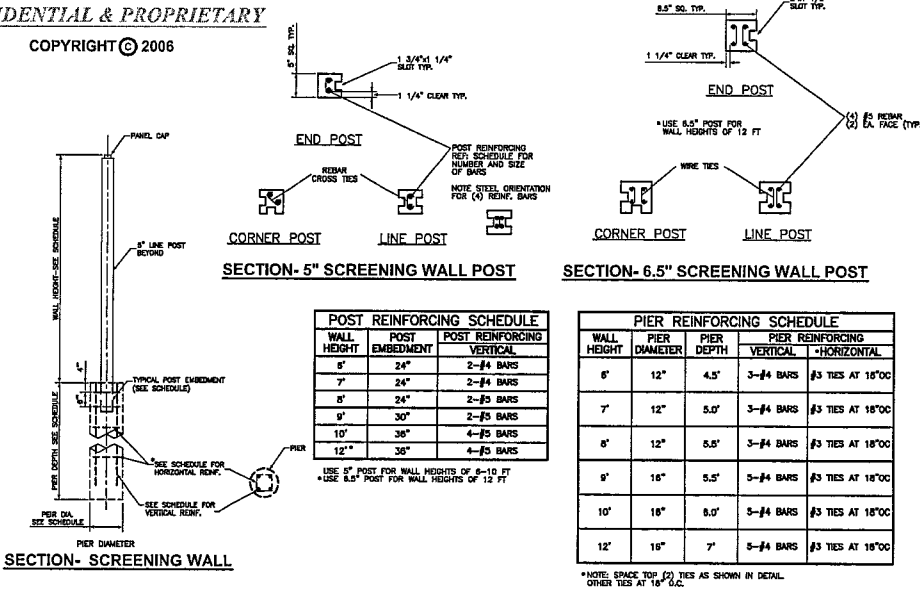
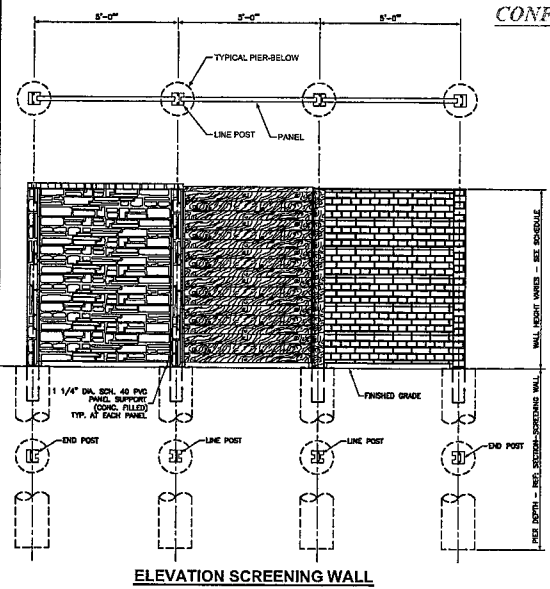
- Post and Panels shall be integrally colored.
- Color shall be selected by owner.

6. All measurements ±1/8"

Concrete

- Concrete Material:**
 - Concrete shall be normal weight concrete having sand and gravel or crushed stone aggregate, mixed with ASTM-C150, type I or II portland cement to meet the minimum compressive strength as follows:
panels & post: 5000 psi @ 28 days
slabs & non-structural: 2800 psi @ 28 days
 - Water used for concrete shall be clean water and free from injurious amounts of oils, acids, chlorides, or other deleterious substances.
 - All concrete permanently exposed to the weather shall contain an air-entraining admixture resulting in 3 to 6 percent entrained air or as recommended by the manufacturer or specified by the contractor.
- Concrete workmanship:**
 - Fresh poured concrete shall be tamped in to place using steel rammer, trowel, or mechanical vibrator, until concrete is thoroughly compact and without void.
 - Excavation for footing shall be on undisturbed soil or to the depth noted on the drawings. Leave the bottom bearing surface clean and smooth. If footing excavations are made deeper than intended, only concrete shall be used for fill. Remove all loose material from excavations prior to concrete pour.

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HAMILTON DUFFY, PC
CONSULTING ENGINEERS
501 N. WINDY HILL ROAD
PLANO, TEXAS 75075
PH: 972.781.1000

CONCRETE SCREENWALL
PREMIERCRETE PRODUCTS, LLC
9534 INDUSTRIAL ROAD
JUSTIN, TEXAS 75247
(940) 648-5802
www.premiercrete.com

PRECAST CONCRETE SCREENING WALL
STRUCTURAL

NO.	DATE	BY	CHKD	APP'D	REV.	DESCRIPTION

SHEET 1 OF 1

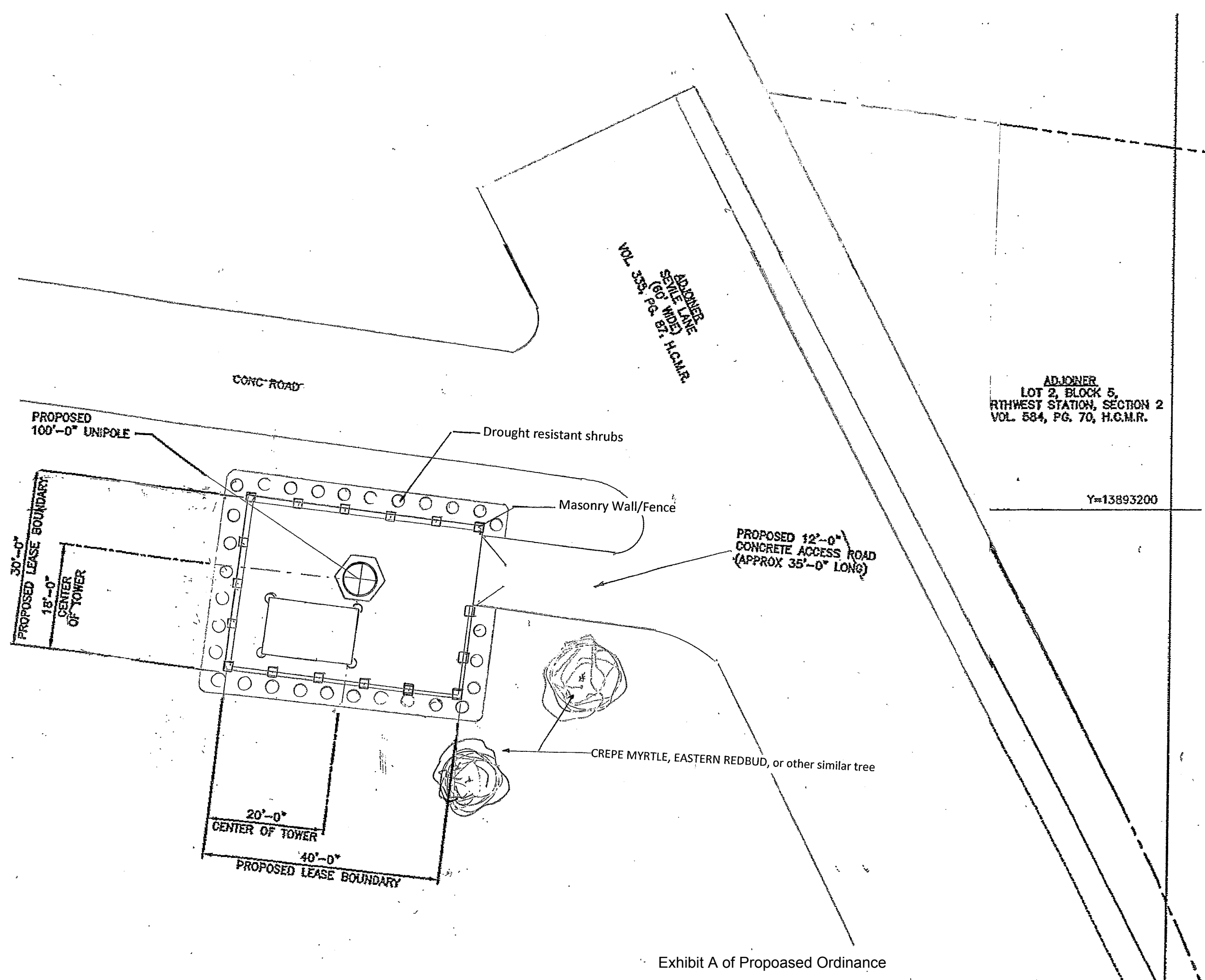


Exhibit A of Proposed Ordinance

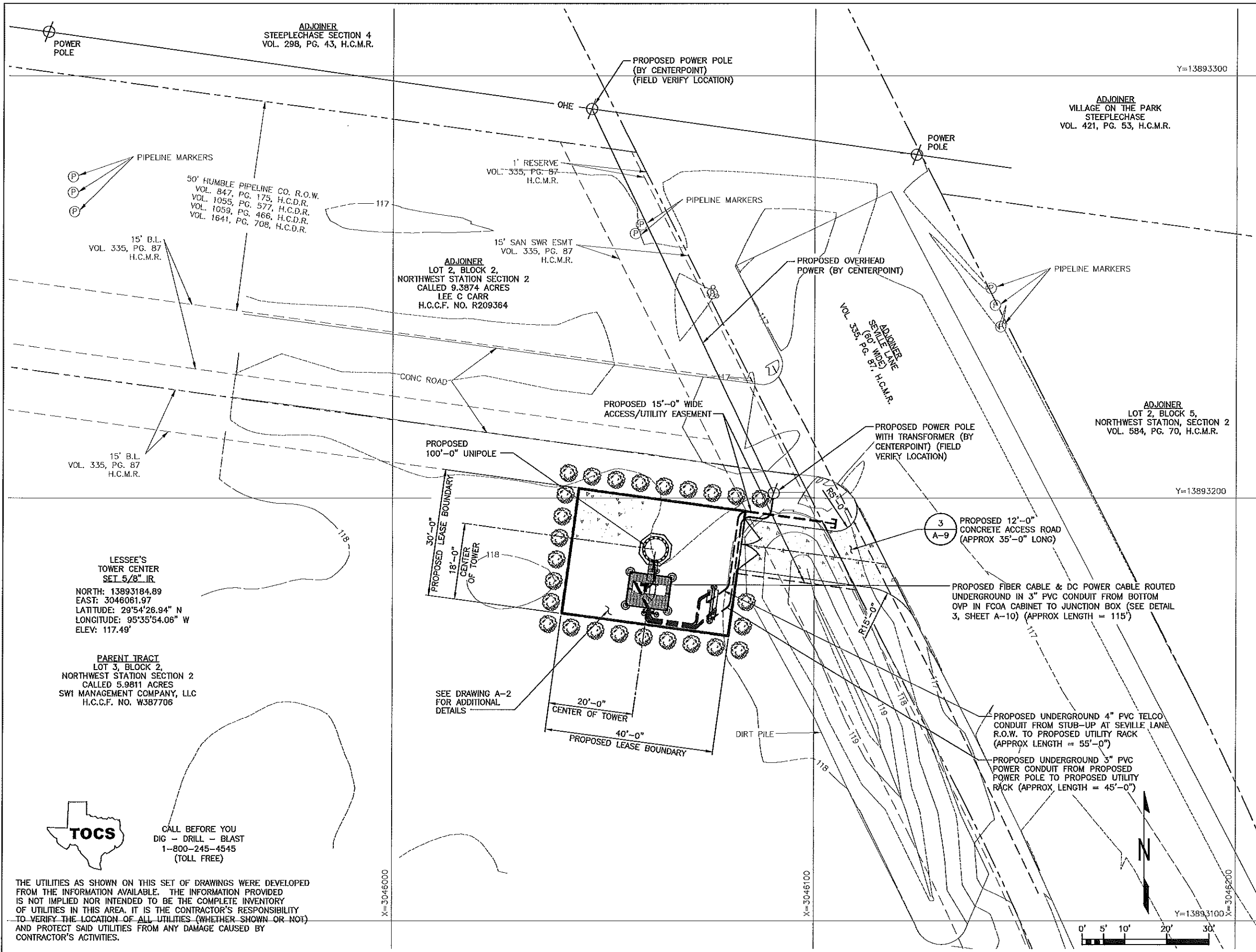
T-Mobile
Get More From Life

T-Mobile West Corp.
 2 Greenway Plaza, Suite 1100
 Houston, Texas 77046



- 1200 square feet of permeable cover inside fence
- 576 square feet of landscaping around the masonry fence
- Approx. 425' of concrete driveway

SITE NAME
SW 1 MANAGEMENT
SITE NUMBER
A3F0347A
SITE ADDRESS
0 CASTLEBERRY DRIVE



T-Mobile West Corp.
2 Greenway Plaza, Suite 1100
Houston, Texas 77046



9225 Indian Creek Parkway, Suite 400
Overland Park, Kansas 66210
Phone: 913-438-7700 Fax: 913-438-7777

DESIGNER: M.T. GARRETT
LEAD EE: S.D. KEISLING
LEAD CE/SE: M.L. OWENS

SUBMITTALS			
NO.	DATE	DESCRIPTION	BY
A	09/03/10	ISSUED FOR REVIEW	MTG
B	09/27/10	ISSUED FOR REVIEW	CKL
C	01/10/11	REVISED FOR 3G ONLY	DOS
D	01/25/11	ISSUED FOR CONSTRUCTION	DOS
E	12/12/11	REVISED FOR RRU SOLUTION	DOS

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STATE OF TEXAS
CERTIFICATE OF AUTHORIZATION #F-9947
RESPONSIBLE ENGINEERS:
MLO MICHAEL L. OWENS 101537 STRUCTURAL/CIVIL
TMS TERRANCE M. SUPER 84968 ELECTRICAL
SDX SHELTON D. KEISLING 106605 ELECTRICAL

SITE NAME
SW 1 MANAGEMENT

SITE NUMBER
A3F0347A

SITE ADDRESS
**0 CASTLEBERRY DRIVE
HOUSTON, TEXAS
77065**

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
A-1

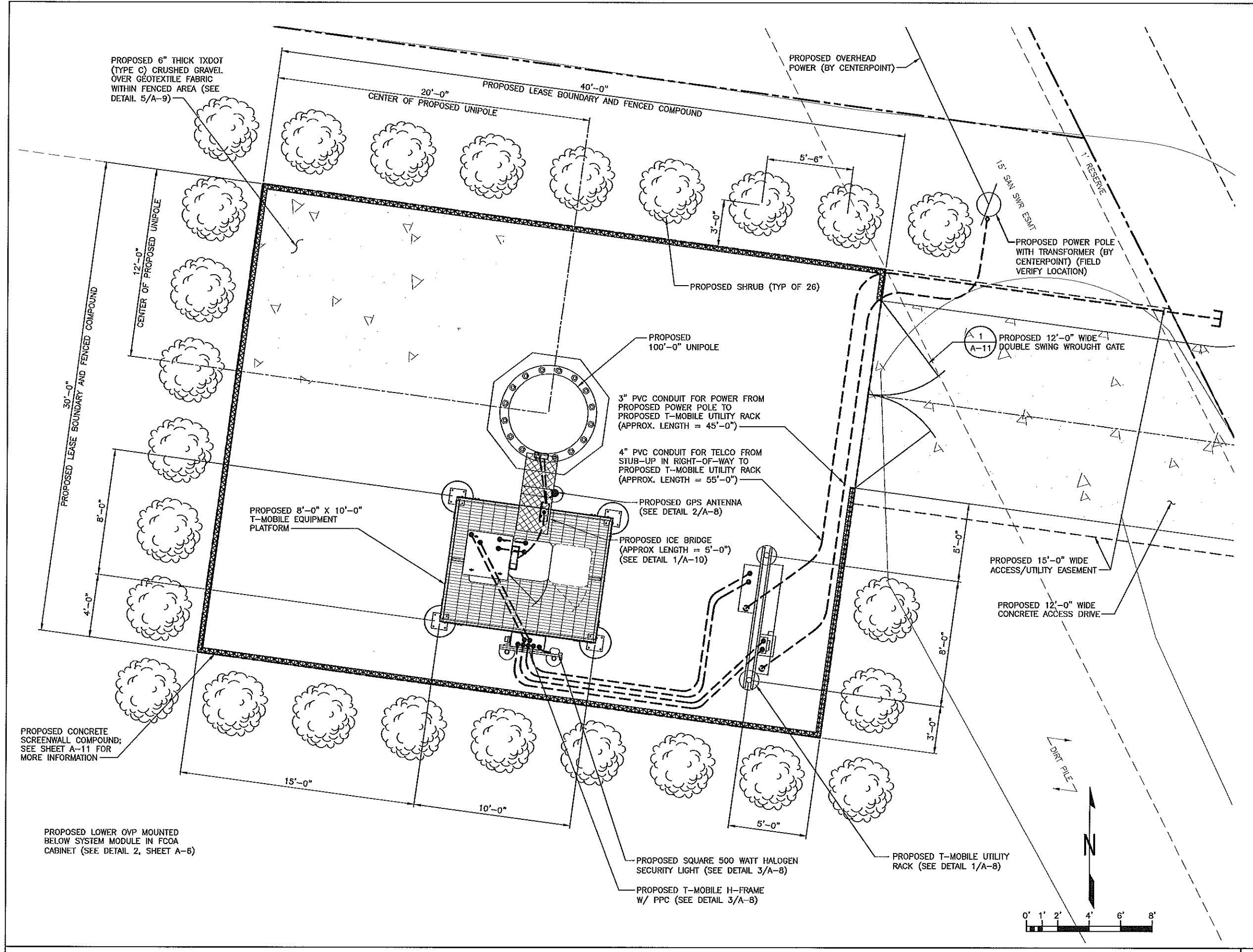
THE UTILITIES AS SHOWN ON THIS SET OF DRAWINGS WERE DEVELOPED FROM THE INFORMATION AVAILABLE. THE INFORMATION PROVIDED IS NOT IMPLIED NOR INTENDED TO BE THE COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE CAUSED BY CONTRACTOR'S ACTIVITIES.



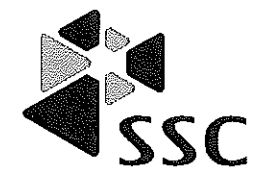
CALL BEFORE YOU DIG - DRILL - BLAST
1-800-245-4545
(TOLL FREE)

LESSEE'S TOWER CENTER
SET 5/8" IR
NORTH: 13893184.89
EAST: 3046061.97
LATITUDE: 29°54'26.94" N
LONGITUDE: 95°35'54.06" W
ELEV: 117.49'

PARENT TRACT
LOT 3, BLOCK 2,
NORTHWEST STATION SECTION 2
CALLED 5.9811 ACRES
SW1 MANAGEMENT COMPANY, LLC
H.C.C.F. NO. W387706



T-Mobile West Corp.
2 Greenway Plaza, Suite 1100
Houston, Texas 77046



9225 Indian Creek Parkway, Suite 400
Overland Park, Kansas 66210
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T.M.S. TERRANCE M. SUPER 84968 ELECTRICAL
S.D.K. SHELTON D. KEISLING 106695 ELECTRICAL

SITE NAME

SW 1 MANAGEMENT

SITE NUMBER

A3F0347A

SITE ADDRESS

0 CASTLEBERRY DRIVE
HOUSTON, TEXAS
77065

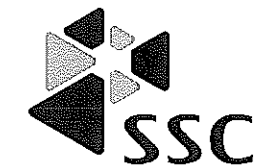
SHEET TITLE

ENLARGED SITE PLAN

SHEET NUMBER

A-2

ENLARGED SITE PLAN



9225 Indian Creek Parkway, Suite 400
Overland Park, Kansas 66210
Phone: 913-438-7700 Fax: 913-438-7777

DESIGNER: M.T. GARRETT
LEAD EE: S.D. KEISLING
LEAD CESE: M.L. OWENS

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TMS TERRANCE M. SUPER 84968 ELECTRICAL
SDK SHELTON D. KEISLING 106605 ELECTRICAL

SITE NAME

SW 1 MANAGEMENT

SITE NUMBER

A3F0347A

SITE ADDRESS

0 CASTLEBERRY DRIVE
HOUSTON, TEXAS
77065

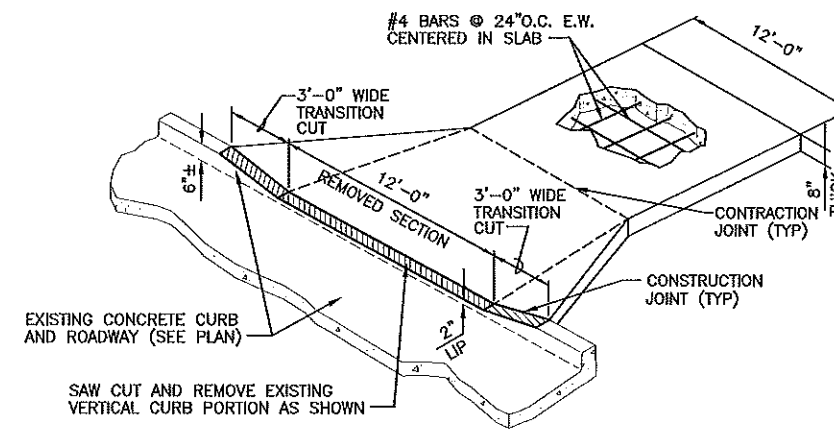
SHEET TITLE

CONSTRUCTION DETAILS
(2 OF 3)

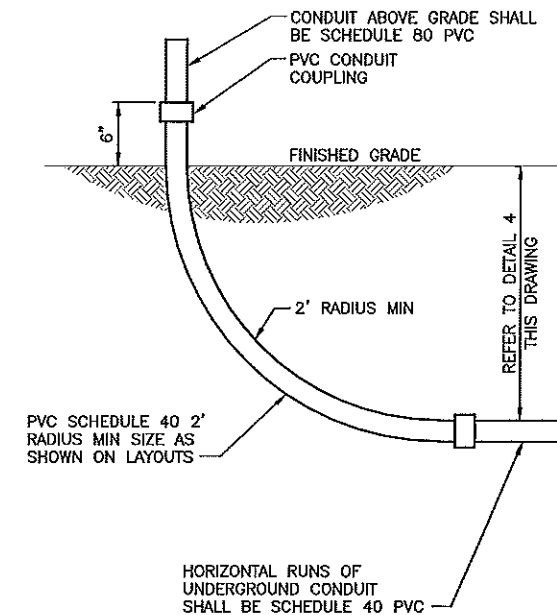
SHEET NUMBER

A-9

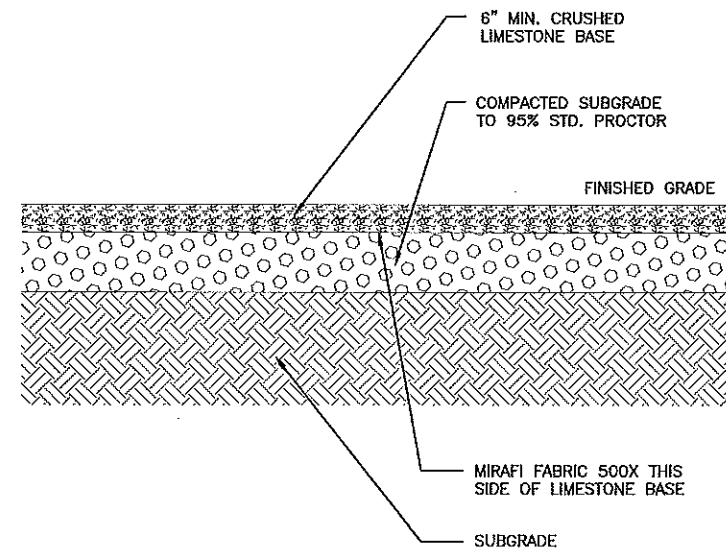
NOTE:
SAWCUT AND REMOVE EXISTING PAVEMENT AS REQUIRED FOR NEW CONSTRUCTION. ISOLATION JOINTS SHALL BE PLACED WHERE NEW CONCRETE ABUTS EXISTING PAVEMENT AND IN AREAS WHERE DOWEL BARS ARE NOT REQUIRED BY THE ENGINEER.



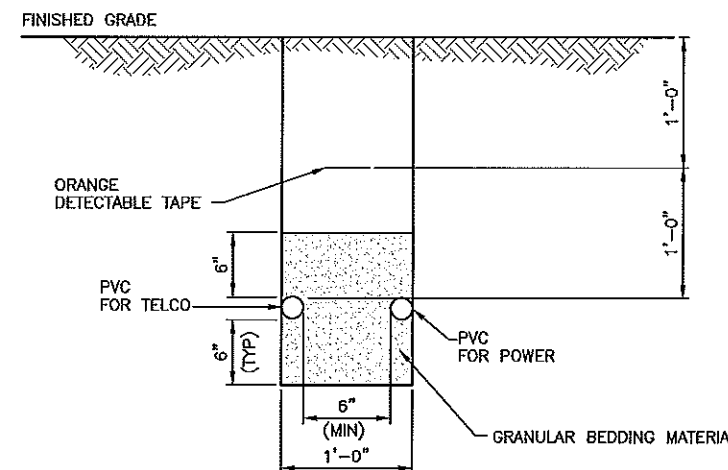
CURB CUT AT APRON DETAIL
NO SCALE



CONDUIT STUB UP



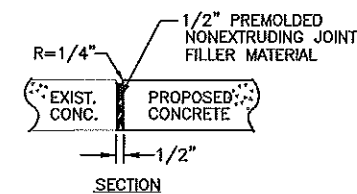
COMPOUND SECTION



NOTE: COMMUNICATION AND POWER CONDUITS MAY BE RUN IN SEPARATE TRENCHES. CONDUITS SHALL MAINTAIN 6 INCHES MINIMUM SEPARATION.

TYPICAL CONDUIT TRENCH

CONSTRUCTION JOINT DETAIL
NO SCALE

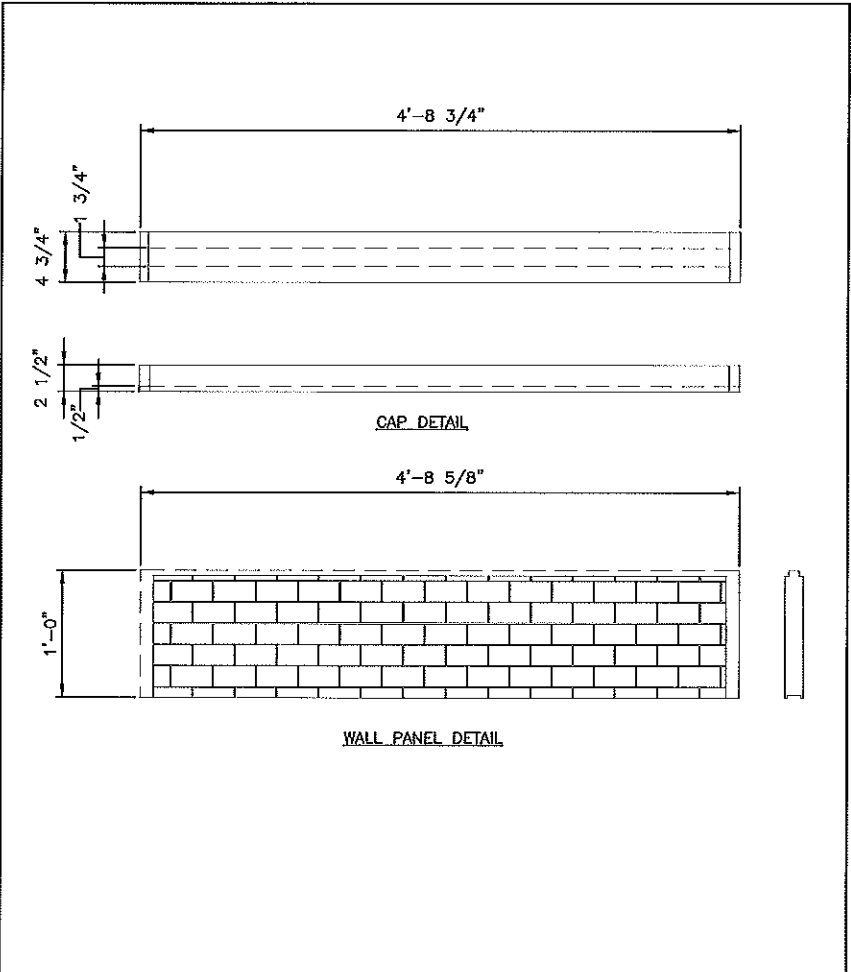


CONSTRUCTION JOINT DETAIL

CONSTRUCTION NOTES:

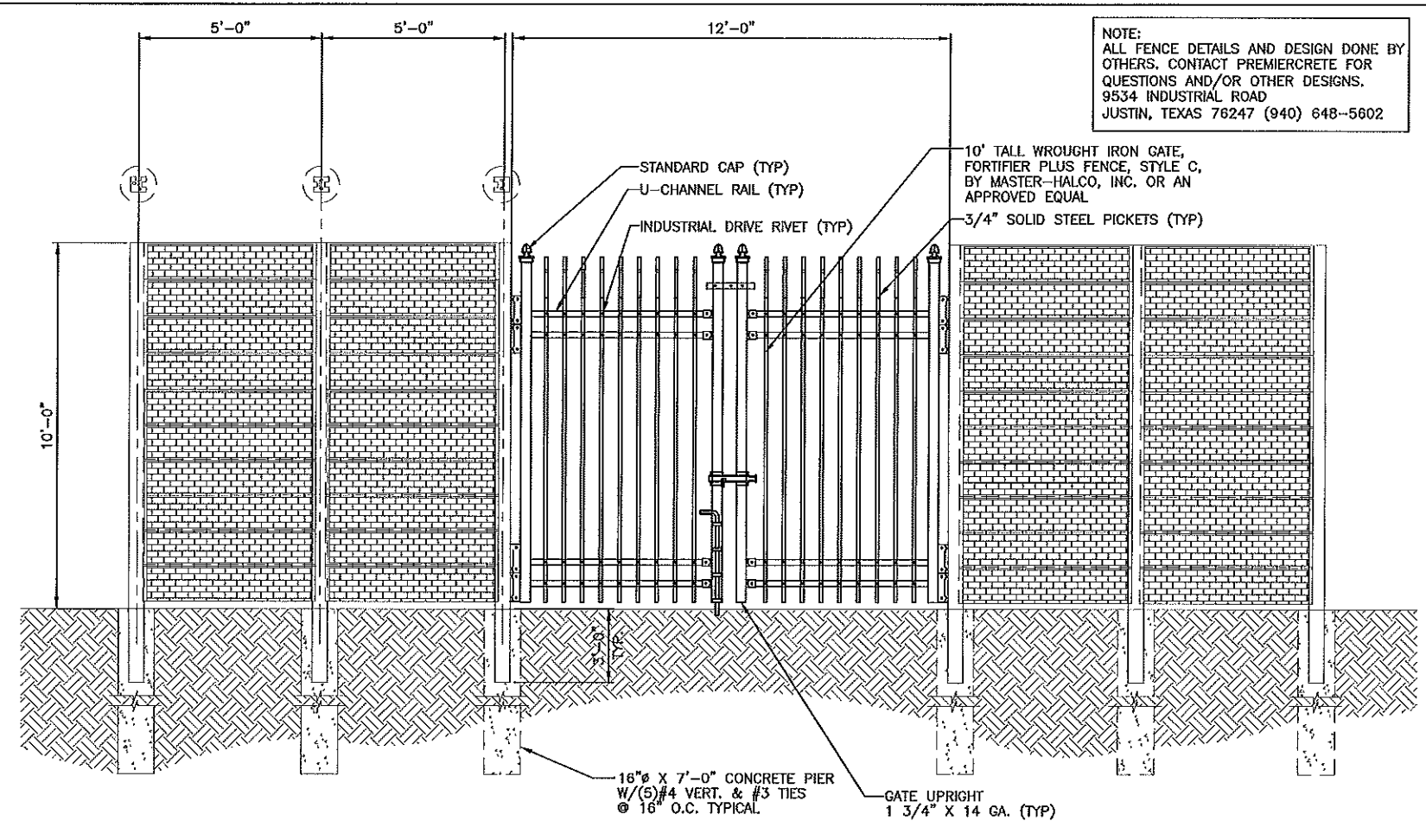
1. STRIP THE GROUND OF ALL VEGETATION AND DEBRIS.
2. PROOF ROLL WITH LOADED TANDEM TRUCKS TO IDENTIFY SOFT SPOTS.
3. REMOVE SOFT SPOT MATERIAL AND REPLACE WITH BACKFILL.
4. COMPACT UPPER 9" OF SUBGRADE BELOW GRANULAR SUB BASE TO 98% OF STANDARD PROCTOR DENSITY (ASTM D698). ALL SUBGRADE BELOW THIS 9" LAYER SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
5. INSTALL GRANULAR SUB BASE AND COMPACT TO 98% STANDARD PROCTOR DENSITY (ASTM D698) OR 85% RELATIVE DENSITY (ASTM D4253, ASTM D4254)
6. CONCRETE SHALL BE 4000 P.S.I. MIN. COMPRESSIVE STRENGTH

CONSTRUCTION NOTES



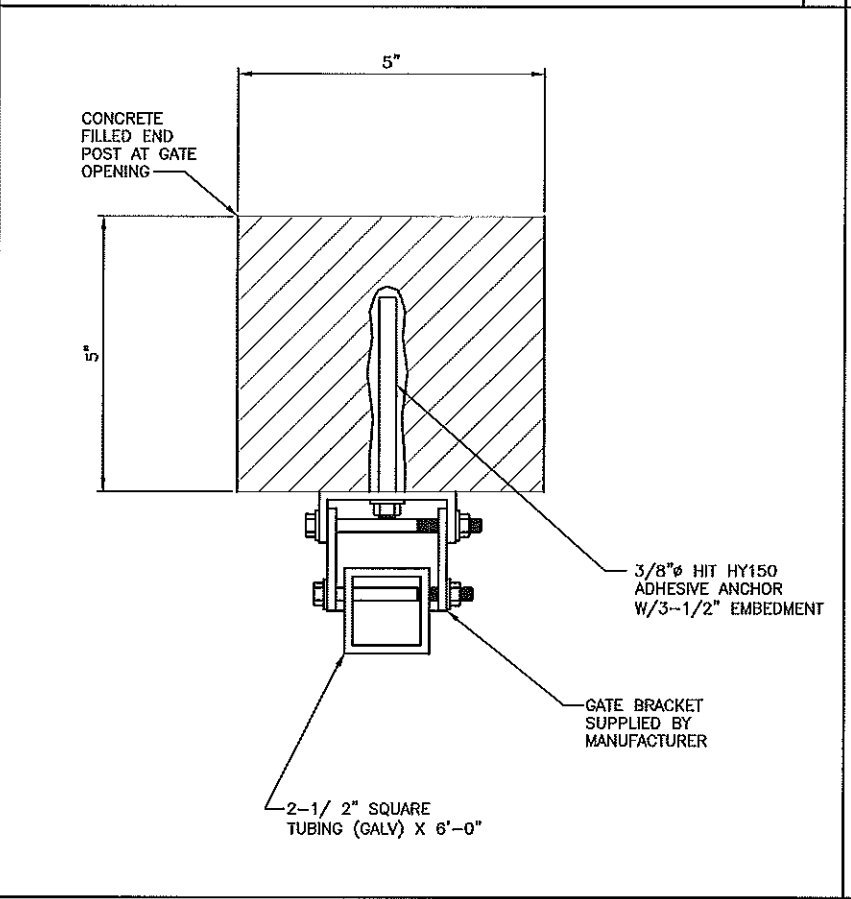
PANEL AND CAP DETAILS

4



FENCE AND GATE DETAIL

1



GATE MOUNT

5

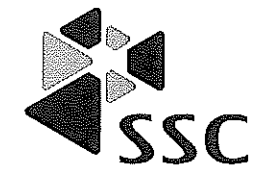


SCREEN WALL POSTS

2



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SDK SHELTON D. KEISLING 106605 ELECTRICAL

SITE NAME

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SITE NUMBER

A3F0347A

SITE ADDRESS

0 CASTLEBERRY DRIVE
HOUSTON, TEXAS
77065

SHEET TITLE

FENCE DETAILS

SHEET NUMBER

A-11